



Minister's Specification SA 76
January 2000

**Maintenance and testing of
safety installations.
Schedule of essential
safety provisions.**



FIS

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Minister's Specification SA 76 January 2000

Maintenance and testing of safety installations. Schedule of essential safety provisions.

1. PREFACE

This Specification should be read in conjunction with Regulation 76 of the *Development Regulations 1993* and Clause SA I1.1 of Volume 1 of the *Building Code of Australia 1996*.

2. SCOPE

This specification sets out the standards or other requirements for the installation, maintenance and testing of items classed as 'essential safety provisions' as defined in Schedule 1 of the *Development Regulations 1993*.

Section 3 SCHEDULE OPTIONS outlines a menu of options that must be customised to the particular development by adding or deleting items to the schedule issued by the relevant authority under Regulation 76 (3), as appropriate.

Therefore, only those items forming part of the Building Rules Consent should be included in the schedule of essential safety provisions for a particular building.

For alterations to existing buildings, the schedule of essential safety provisions need only include those items that are new or amended.

Other options that can be considered when issuing a schedule of essential safety provisions for alterations and additions to existing buildings are outlined in Appendix B - EXISTING BUILDINGS.

Maintenance and testing of essential safety provisions in accordance with the criteria listed under 'Nature of inspection and/or test, frequency' column in Section 3 of this specification will be deemed to satisfy Regulation 76 (4) of the *Development Regulations*; and Performance

Requirement IP1.1 of Volume 1 of the *Building Code of Australia 1996* edition.

Where essential safety provisions listed herein are installed in a building as an outcome of an Alternative Solution (in lieu of a Deemed-to-Satisfy Solution), the nature and/or frequency of testing for maintenance may be varied. Any variations must be agreed and listed on the schedule (*Form 1 Schedule 16*) issued by the relevant authority under Regulation 76(3) of the *Development Regulations 1993*.

Essential safety provisions not covered by this specification must be adequately maintained to meet BCA Performance Requirement IP1.1. The nature and frequency of inspection and/or testing for maintenance must be agreed at the time of approval and listed on the schedule (*Form 1 Schedule 16*) issued by the relevant authority under Regulation 76(3) of the *Development Regulations 1993*.

Appendix A - ALTERNATIVE SOLUTIONS herein provides additional guidance on criteria to be considered when preparing schedules for maintenance of essential safety provisions approved as an Alternative Solution.



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3. SCHEDULE OPTIONS

Items to be inspected or tested as nominated by the relevant authority	Deemed to satisfy installation standard/code/conditions of approval	Nature of inspection and/or test, frequency
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3.1 Structural Fire Protection and Compartmentation

(a) Fire resistant materials applied to building elements	Section C of Vol 1 of the BCA	Annual inspection for damage or deterioration.
(b) Early fire hazard indices for linings and surface finishes	Specification C1.10 of Vol 1 of the BCA	Annual inspection for compliance with Specification C1.10 of Vol 1 of the BCA.
(c) Compartmentation including bounding construction and service penetrations through fire resistant structures (includes fire walls; smoke walls; fire resistant exits, and fire resistant elements such as walls, floors, ceilings, protective coverings, access panels and control joints)	Parts C2 and C3 of Vol 1 of the BCA and Specifications C1.1 and C3.15 of Vol 1 of the BCA	Annual inspection for damage or deterioration; check integrity of joints, junctions and penetrations; and check that any additional penetrations have been adequately fire stopped Remove any services not permitted in fire-isolated exits (refer Clause C3.9 of Vol 1 of the BCA)
(d) Fire doors	Specification C3.4 of Vol 1 of the BCA and AS/NZS 1905.1	As prescribed in AS 1851.7 check operation of handles and electronic strikes
(e) Smoke doors	Specification C3.4 of Vol 1 of the BCA	As prescribed in AS 1851.7
(f) Solid core doors	Clause C3.11 of Vol 1 of the BCA	Annual inspection for damage or deterioration and operation of closer
(g) Fire shutters	Specification C3.4 of Vol 1 of the BCA or AS 1905.2 as appropriate	Six monthly inspection for compliance with Specification C3.4 of the BCA



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3. SCHEDULE OPTIONS *(continued)*

Items to be inspected or tested as nominated by the relevant authority	Deemed to satisfy installation standard/code/conditions of approval	Nature of inspection and/or test, frequency
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3.1 Structural Fire Protection and Compartmentation *(continued)*

(h) Fire windows	Specification C3.4 of Vol 1 of the BCA	Six monthly inspection for compliance with Specification C3.4 of Vol 1 of the BCA
(i) Fire curtains (Proscenium arches)	Specification H1.3 of Vol 1 of the BCA	Six monthly inspection for compliance with Specification H1.3 of Vol 1 of the BCA
(j) Wall wetting sprinklers	Clause C3.4 of Vol 1 of the BCA and as approved by relevant authority	As prescribed by AS 1851.3 where installed as part of a sprinkler system; or six monthly inspection for compliance, damage or deterioration and water supply availability where installed as part of another system; or as approved by the relevant authority (insert details)

3.2 Means of Egress

Exits and paths of travel to exits including doors, doorways, operation of latches (including automatic closing or unlocking devices), handrails, stair treads and clearance from obstructions	Section D of Vol 1 of the BCA	Three monthly inspection to ensure compliance with Section D of Vol 1 of the BCA and to ensure paths are clear of obstructions
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3.3 Signs

(a) Signs concerning use of lifts in the event of fire	Clause E3.3 of Vol 1 of the BCA	Annual inspection for damage or deterioration and for compliance with Clause E3.3 of Vol 1 of the BCA
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3. SCHEDULE OPTIONS (continued)

Items to be inspected or tested as nominated by the relevant authority	Deemed to satisfy installation standard/code/conditions of approval	Nature of inspection and/or test, frequency
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3.3 Signs (continued)

(b) Internally illuminated exit signs	Clauses E4.5 and E4.8 of Vol 1 of the BCA and AS/NZS 2293.1	Monthly visual inspection to confirm operation, avoidance from obstructions and power availability and six monthly inspection as prescribed in AS/NZS 2293.2
(c) Indirectly illuminated exit signs	Clauses E4.5 and E4.8 of Vol 1 of the BCA and AS/NZS 2293.1	Monthly test to ensure operation and visual inspection for avoidance from obstruction and power availability and six monthly inspection as prescribed in AS/NZS 2293.2
(d) Exit identification including signs on fire doors and smoke doors; signs on egress doors leading from fire-isolated passageways; signs and audible and visual alarms on sliding fire doors; chevron stripes; and flashing luminaires	Clauses D2.23 and C3.6 of Vol 1 of the BCA and as approved by the relevant authority	Annual inspection for compliance with clauses D2.23 and C3.6 of Vol 1 of the BCA and for avoidance of obstruction as necessary. For flashing luminaires, inspection in accordance with emergency lighting requirements as prescribed in AS/NZS 2293.2.



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3. SCHEDULE OPTIONS *(continued)*

Items to be inspected or tested as nominated by the relevant authority	Deemed to satisfy installation standard/code/conditions of approval	Nature of inspection and/or test, frequency
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3.4 Emergency Lighting

Emergency lighting	Clause E4.2 and E4.4 of Vol 1 of the BCA and (i) equipment manufactured to AS/NZS 2293.3, and (ii) designed and installed to AS/NZS 2293.1, or (iii) designed and installed as approved by the relevant authority, or For Class 1b buildings, Clause 3.7.2.5 of Vol 2 of the BCA	As prescribed in AS/NZS 2293.2 and monthly inspection for power availability, or as approved by the relevant authority (insert details)
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3.5 Fire-Fighting Services and Equipment

(a) Fire pump sets	AS 2941 or as approved by the relevant authority	As prescribed in AS 1851.14
(b) Fire main, booster, static water supply and associated equipment	Part E1 of Vol 1 of the BCA, AS 2118 and AS 2419.1 or CFS Policy 0014	Annual inspection and three yearly flow test to the requirements of AS 1851.3
(c) Fire hydrant installations	Clause E1.3 of Vol 1 of the BCA and AS 2419.1	As prescribed in AS 1851.4
(d) Fire control room fit out and facilities	Specification E1.8 of Vol 1 of the BCA	Annual inspection for compliance with Specification E1.8 of Vol 1 of the BCA
(e) Fire hose reels	Clause E1.4 of Vol 1 of the BCA and AS 2441	As prescribed in AS 1851.2



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3. SCHEDULE OPTIONS (continued)

Items to be inspected or tested as nominated by the relevant authority	Deemed to satisfy installation standard/code/conditions of approval	Nature of inspection and/or test, frequency
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3.5 Fire-Fighting Services and Equipment (continued)

(f) Portable fire extinguishers	Clause E1.6 of Vol 1 of the BCA and AS 2444	As prescribed in AS 1851.1
(g) Fire sprinkler installations	(i) Clause E1.5 and/or Specification E1.5 of Vol 1 of the BCA and AS 2118, or (ii) as approved by the relevant authority, or (iii) NFPA, FM or similar alternative as approved by the relevant authority	As prescribed in AS 1851.3 or as approved by the relevant authority (insert details), and where specialist systems are installed, check that relevant building and occupancy constraints are maintained. Frequency of testing and extent of maintenance for a 'domestic' or 'residential' sprinkler installation must be approved by the relevant authority
(h) Special hazards fire-fighting systems and equipment	Clause E1.10 of Vol 1 of the BCA or as approved by the relevant authority <i>Note: This may include various fire extinguishing media or gaseous/foam systems in accordance with relevant Australian Standards such as AS 3689, AS 4214, AS 4215, AS/NZS 4487, AS 4077, AS 4078 or other standards published by Standards Australia, NFPA or similar organisations.</i>	As prescribed in AS 1851.12, AS 1851.16, or as approved by the relevant authority (insert details)



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3. SCHEDULE OPTIONS (continued)

Items to be inspected or tested as nominated by the relevant authority	Deemed to satisfy installation standard/code/conditions of approval	Nature of inspection and/or test, frequency
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3.6 Air-Handling Systems (refer to notes on page 13*)

(a) Fans and fan motors associated with the operation of a ventilation system (frequent and emergency uses)	AS/NZS 1668.1 and AS 1668.2	As prescribed in AS 1851.6, Appendices B2 and B3
(b) Smoke Detectors (not forming part of an AS 1670 system)	Clause E2.2 and Specification E2.2a of Vol 1 of the BCA and AS/NZS 1668.1 or AS 1670 as appropriate	As prescribed in AS 1851.8
(c) Fire control operation associated with mechanical ventilation of air conditioning systems:		
(i) Fire shut down of equipment	Clause E2.2 of Vol 1 of the BCA or AS/NZS 1668.1 as appropriate	As prescribed in AS 1851.6, Appendix B9
(ii) Control of supply and/or return air fans or equipment	AS/NZS 1668.1 or as approved by the relevant authority	As prescribed in AS 1851.6, Appendix B10, with performance testing to building approval conditions and based on AS 1668.1 Frequency routines modified for Level 1 - Six monthly



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3. SCHEDULE OPTIONS (continued)

Items to be inspected or tested as nominated by the relevant authority	Deemed to satisfy installation standard/code/conditions of approval	Nature of inspection and/or test, frequency
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3.6 Air-Handling Systems (refer to notes on page 13*) (continued)

(iii) Fire mode operation of air dampers for outside air, recycle air, relief air, zone control dampers for supply and return air including motorised fire/smoke/combo dampers	AS/NZS 1668.1 or as approved by the relevant authority	As prescribed in AS 1851.6, Appendix B5
(iv) Fire dampers - thermal	AS 1682 and AS/NZS 1668.1	As prescribed in AS 1851.6
(d) Smoke hazard management:		
(i) egress pressurisation and/or zone (sandwich) pressurisation	AS/NZS 1668.1 or as approved by the relevant authority	As prescribed in AS 1851.6, Appendix B10, with performance testing to building approval conditions and based on AS 1668.1 Frequency routines modified for Level 1 - Six monthly
(ii) smoke spill	AS/NZS 1668.1 or as approved by the relevant authority	Test in accordance with 3.6(d)(i) herein
(iii) Smoke curtains, baffles or bulkheads (including concealed voids)	Specification E2.2b of Vol 1 of the BCA or as approved by the relevant authority	Six monthly inspection to ensure no damage or deterioration has occurred
(iv) roof and wall vents	Specifications E2.2c and G3.8 of Vol 1 of the BCA and AS 2665	As prescribed in AS 1851.5



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3. SCHEDULE OPTIONS *(continued)*

Items to be inspected or tested as nominated by the relevant authority	Deemed to satisfy installation standard/code/conditions of approval	Nature of inspection and/or test, frequency
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3.6 Air-Handling Systems (refer to notes on page 13*) *(continued)*

(v) natural openings (windows, doors, panels, or the like - applicable to buildings approved prior to 1 Jan 1995)	Openings identified and approved by the relevant authority as part of smoke control management	Annual inspection for damage or deterioration and to ensure they are readily openable
(vi) make up air provisions including louvres and automatic doors	Specifications E2.2b and C2.3 of Vol 1 of the BCA as applicable, or as approved by the relevant authority	Testing for actuation, obstruction and operation in conjunction with the relevant smoke hazard management system
(e) Kitchen exhausts - including grease filters	AS/NZS 1668.1 and AS 1668.2	As prescribed in AS 1851.6, Appendix B8
(f) Microbial control - warm water, ventilation and cooling towers	AS 1668.2 and AS/NZS 3666.1 SAA HB32	Inspect monthly and clean as necessary in accordance with Section 2 of AS/NZS 3666.2
(g) Automatic monitoring of atmosphere contaminants for car-parks and other vehicle enclosures	AS 1668.2	Annual inspection, calibration and maintenance in accordance with AS 1668.2, Appendix M
(h) Electric duct heaters	AS 1668.1	As prescribed in AS 1851.6, Appendix B7

3.7 Automatic Fire Detection and Alarm Systems (refer to notes on page 13*)

(a) Self contained smoke and thermal alarms	Specification E2.2a of Vol 1 of the BCA, or Section 3.7.2.2 of Vol 2 of the BCA for Class 1b buildings, and AS 3786	Three monthly test for audible alarm. Battery replacement as necessary. Unit replacement as recommended by manufacturer.
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3. SCHEDULE OPTIONS *(continued)*

Items to be inspected or tested as nominated by the relevant authority	Deemed to satisfy installation standard/code/conditions of approval	Nature of inspection and/or test, frequency
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3.7 Automatic Fire Detection and Alarm Systems (refer to notes on page 13*) *(continued)*

(b) Detection and alarm systems	Clause E2.2 and Specification E2.2a of Vol 1 of the BCA and complying with AS 1670	As prescribed in AS 1851.8
(c) Interconnected smoke alarms for occupant warning systems	Specification E2.2a of Vol 1 of the BCA and AS 3786	Three monthly test for audible alarm. Battery replacement as necessary. Unit replacement as recommended by manufacturer.
(d) Occupant warning systems including audible alarms, recorded & visual messages	Specifications E1.5 and E2.2a of Vol 1 of the BCA	As prescribed in AS 1851.8

3.8 Emergency Warning and Intercommunications Systems

Emergency warning and intercommunication systems	Clause E4.9 of Vol 1 of the BCA and AS 2220 Parts 1 and 2	As prescribed in AS 1851.10
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3.9 Lifts

(a) Lifts providing a stretcher facility	Part E3 of Vol 1 of the BCA	Annual inspection for compliance with part E3 of Vol 1 of the BCA
(b) Equipment and controls in lifts for operation in event of emergency	Part E3 of Vol 1 of the BCA and AS 1735.2	Annual inspection for compliance with Part E3 of Vol 1 of the BCA
(c) Floor by-pass and other fire mode control of lifts	As approved by the relevant authority	As approved by the relevant authority (insert details)



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3. SCHEDULE OPTIONS (continued)

Items to be inspected or tested as nominated by the relevant authority	Deemed to satisfy installation standard/code/conditions of approval	Nature of inspection and/or test, frequency
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3.10 Emergency Power Supply

Emergency power	Clause G3.8 of Vol 1 of the BCA or as approved by the relevant authority	As prescribed for diesel engines in AS 1851.14, based on proving electrical load in lieu of flow/pressure for pump sets
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3.11 Interconnections - Fire Safety Systems

All fire and safety systems	As approved by the relevant authority (this may include hot smoke tests etc)	Annual test of interconnection of all fire and safety systems for correct operation under automatic alarm (not simulation)
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3.12 Access for Fire Appliances

Access for fire appliances	Clause C2.4 of Vol 1 of the BCA	Six monthly inspection to ensure that unobstructed access to buildings and fire fighting facilities is maintained
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3.13 Clearances for Large Isolated Buildings

Clearances for large isolated buildings	Clause C2.3 of Vol 1 of the BCA	Six monthly inspection to ensure compliance with Clauses C2.3 and C2.4 of Vol 1 of the BCA
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3.14 Occupancy Hazard (through process or storage)

Occupancy hazard in relation to requirements for sprinklers (including fire compartments with- a. floor area >2000 m ² ; or b. volume >12000 m ³)	Not applicable	Annual inspection to ensure that the occupancy is not one of excessive fire hazard as defined in Part E1 of Vol 1 of the BCA
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3. SCHEDULE OPTIONS *(continued)*

Items to be inspected or tested as nominated by the relevant authority	Deemed to satisfy installation standard/code/conditions of approval	Nature of inspection and/or test, frequency
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3.15 Emergency Evacuation Procedures

Emergency control organisation and procedures	AS 3745 and AS 4086 for Class 9a buildings	Annually in accordance with Occupational Health Safety and Welfare Act requirements
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3. SCHEDULE OPTIONS (continued)

***Notes Relating to the Air Handling Systems**

- a. Simulation testing is by operation of test switches either locally to equipment, or from the fire indicator panel. Where it involves the fire indicator panel, the alarm circuit utilised shall not be the same for each routine test.
- b. Automatic testing is by alarm actuation of a thermal or smoke alarm detector, manual call point, sprinkler flow/pressure switch or other initiating field device; proving the control strategy for correct operation of systems and plant. Automatic testing shall include, where applicable, at least two thermal/smoke detectors, one manual call point and one sprinkler flow/pressure device, eg:

Fan shut down	Space or return air detector (zone) and manual call point.
Supply air fan shut down (fire mode or egress pressurisation).	Supply air detector for each system
Zone air supply shut down involving damper operation.	Space or return air detector and monitored sprinkler activation
Zone smoke spill/relief involving damper operation and/or equipment initiation.	Space or return air detector and monitored sprinkler activation.

A minimum of 20% fire/smoke zones shall have their systems initiated per each automatic frequency test to ensure correct operation for central or individual zone air handling systems and/or dedicated safety plant.

- c. The arrangement for coordinating testing of plant and system operation (with a minimum of 20% fire/smoke zones) is to integrate with requirement of AS 1851.8 where 20% of heat and 50% of smoke, flame and sampling detectors were to be operated on a yearly basis.

***Notes Relating to Fire Detection Systems**

Where addressable analogue fire detection systems are installed, the annual testing procedures for alarm zone detectors in AS 1851.8 may be amended as follows, provided such systems incorporate both 'pre-alarm' contamination signal and active software command for 'verification' of actual detection function:

- a. Carry out annual visual inspection of each detector to ensure there are no obvious physical obstructions and that the entry port (and gauze) is clean.
- b. Print out the analogue value of each and every detector and investigate and rectify any detector device that has varied 10% + from the original nominal setting/valve.
- c. Record results by filing summary print outs in the logbook, together with any rectifications or actions taken, in accordance with documentation requirements of AS 1851.8.

Although the frequency of testing procedures may be increased to more regular intervals to satisfy additional facilities offered by addressable analogue systems, this does not necessarily mean that more frequent co-ordination tests with air-handling plant for fire mode operations should occur.



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3. SCHEDULE OPTIONS *(continued)*

Appendix A - Alternative Solutions

A1 Schedule considerations

In the majority of Alternative Solutions, maintenance of essential safety provisions can be related to prescribed inspection and/or test frequencies nominated in Section 3 SCHEDULE OPTIONS of this specification. However, the maintenance levels and criteria must be appropriate to maintain the safety performance and reliability of essential safety provisions installed. Therefore the relevant authority may require the frequency of inspections and/or tests to be varied accordingly.

In addition, the schedule of essential safety provisions may need to include annual examination of the criteria on which the Alternative Solution was based, in order to ensure that no changes have occurred that might adversely affect the ongoing performance of the building. Such criteria include-

- the function or use of the building
- occupant profile and characteristics
- fire load
- potential fire intensity
- fire hazards
- fire safety systems installed in the building

Other features that may have formed an integral part of an agreed Building Solution, which will also need to be considered when developing a schedule of essential safety provisions include-

- Evacuation plans and drills, including arrangements for managing people with disabilities
- Management and staff training in emergency procedures
- Restricted fire load areas (process or storage)
- Limited or specific occupancy areas/functions
- Secure or controlled areas
- Safe refuge areas
- Revisions to conventional or prescribed construction or services installations
- Alternative or innovative systems or services installed
- Other codes and standards, eg International, requiring specialised design parameters for building and occupancy

The above list has been included for guidance to relevant authorities preparing a schedule of essential safety provisions for a building approved as a Alternative Solution (in whole or in part). More extensive guidance on design and evaluation criteria used in developing Alternative Solution to meet the Performance Requirements of BCA96 can be found in the first edition of Fire Engineering Guidelines, published in March 1996 by the Fire Code Reform Centre Ltd.

Consideration also needs to be given to non-essential services or systems that may become essential when relied upon in an Alternative Solution. For example, if approval is given to use a public address system for early warning of occupants in an emergency, that address system becomes an essential safety provision that needs to be maintained. The testing frequency for the address system should also take into account regular checking through daily routine use.



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3. SCHEDULE OPTIONS *(continued)*

Appendix B - Existing buildings

B1 Change in classification of an existing building

- B1.1 Where an owner of a building applies for a change in classification of an existing building, a new schedule of essential safety provisions (*Form 1, Schedule 16*) must be issued in accordance with Regulation 76(3) of the of *Development Regulations 1993*. This applies whether or not any building work is being carried out at the time.
- B1.2 Once a new schedule of essential safety provisions has been issued for an existing building, the building owner must-
- (a) provide a certificate of compliance (*Form 2, Schedule 16*) to the relevant authority (either the council or the private certifier who issued Building Rules Consent - refer Regulations 76(3a) and 83(2)(c) of the *Development Regulations 1993*) for any new or significantly changed essential safety provision installed; and
 - (b) maintain all essential safety provisions listed in the schedule in accordance with requirements listed on that schedule; and
 - (c) provide adequate annual proof (*Form 3, Schedule 16*) to the council that maintenance and testing of all essential safety provisions in the building have been carried out (Regulations 76(4), 76(5) and 76(6) of the *Development Regulations 1993*).

B2. Alterations and/or additions to an existing building

- B2.1 Where development work involves alterations and/or additions to an existing building for which either-
- a LOGBOOK was required to be kept and maintained pursuant to Part 59 of the repealed *Building Regulations 1973*, or
 - a schedule of essential safety provisions was issued pursuant to regulation 32 of the repealed *Building Regulations 1991*, or
 - a schedule of essential safety provisions was issued pursuant to regulation 76(3) of *Development Regulations 1993*,
- and the work does not involve new or significantly changed essential safety provisions, a new schedule of essential safety provisions need not be issued (unless the building owner makes application to the relevant authority for one to be issued, refer to part B3 of this appendix) - the building owner can continue to maintain all existing essential safety provisions in accordance with any regulatory maintenance requirements applicable at the time the original application for building consent was lodged.



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3. SCHEDULE OPTIONS *(continued)*

Appendix B - Existing buildings *(continued)*

B2 Additions and/or alterations to an existing building *(continued)*

B2.2 Where alteration and/or additions work involves new or significantly changed essential safety provisions, the following options for issuing a schedule of essential safety provisions (*Form 1, Schedule 16*) under Regulation 76(2) of the *Development Regulations 1993* apply-

- (a) a new schedule need not be issued for existing essential safety provisions that remain unchanged but a new schedule issued to cover all new or significantly changed essential safety provisions; or
- (b) a new schedule may be issued with the building owner's agreement to cover all essential safety provisions in the whole building.

B2.3 Where a new schedule (*Form 1, Schedule 16*) is issued, the owner of the building must-

- (a) provide a certificate of compliance (*Form 2, Schedule 16*) to the relevant authority (either the council or the private certifier who issued Building Rules Consent - refer Regulations 76(3a) and 83(2)(c) of the *Development Regulations 1993*) for any new or significantly changed essential safety provision installed; and
- (b) maintain all essential safety provisions included in the new schedule in accordance with requirements listed in that schedule; and
- (c) provide adequate annual proof (*Form 3, Schedule 16*) to the council that maintenance and testing of all essential safety provisions listed in the new schedule has been carried out (refer Regulations 76(5) and 76(6) of the *Development Regulations 1993*); and
- (d) maintain existing essential safety provisions not included in the new schedule (ie existing provisions that remain unchanged) in accordance with the maintenance requirements applicable at the time they were installed (refer Regulation 76(4) of the *Development Regulations 1993*).

B3 Optional maintenance procedures for existing buildings

B3.1 The owner of any building for which maintenance of a LOGBOOK was required pursuant to Part 59 of the repealed regulations under the *Building Act 1971*, may either-

- (a) elect to continue the use of the LOGBOOK, or
- (b) apply to a relevant authority or council for a schedule (*Form 1, Schedule 16*) to be issued pursuant to Regulation 76(3)(b) of the *Development Regulations 1993*.

B3.2 If a new schedule is issued for an existing building, the building owner must-

- (a) maintain all essential safety provisions included in the schedule in accordance with requirements listed in that schedule; and
- (b) provide adequate annual proof (*Form 3, Schedule 16*) to the council that maintenance and testing of all essential safety provisions in the building have been carried out (refer Regulations 76(5) and 76(6) of the *Development Regulations 1993*).



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3. SCHEDULE OPTIONS *(continued)*

Appendix C - Maintenance records

C1 Record books

It is recommended that systematic records be kept of all maintenance procedures carried out in a building in order to ensure that every prescribed fire safety element has been identified, inspected and where appropriate any defects have been remedied. Consideration should therefore be given to establishing a Record Book as part of the maintenance procedures, which incorporates-

- Layout Plans for each fire safety item required to be maintained, eg portable fire extinguishers, fire hose reels, smoke spill fans etc.
- A Maintenance Log Sheet appropriate to each fire safety item required to be maintained. (See Appendix E for examples of suitable Layout Plans and Maintenance Log Sheets)

Layout Plans should be clear, simple, diagrammatic plans that identify the fire safety items to be inspected and maintained. It is recommended that Layout Plans-

- be A4 or A3 size scaled (or non-scaled but proportioned) sketch plans of each floor of the building, or part floor plans showing separate segregated areas or zones as appropriate.
- include separate plans for each different type of fire safety item, eg portable fire extinguishers, fire hose reels, smoke spill fans etc.
- use consistent, recognised symbols on plans that indicate the location and type of fire safety item.
- allocate an identification number/code to each fire safety item that can also be used on Maintenance Log Sheets to identify a particular item and its location. In multi-storeyed buildings the identification code should therefore also indicate on what floor the item is located.

Notes:

- a. AS 2293.1 requires the provision of an operating and maintenance manual for each emergency lighting installation that contains relevant maintenance data, together with either 'as-installed' plans showing location of all emergency lighting equipment, or a detailed schedule listing the required information.
- b. Fire sprinkler heads need not be specifically shown on Layout Plans, as the Sprinkler Code requires identification of sprinklered areas and their design hazard to be included at the control valve.
- c. AS 1670 fire detection systems need not specifically be shown on Layout Plans as the documentation required at the fire indicator panel includes block plans that show the location and identification number of equipment installed.



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3. SCHEDULE OPTIONS *(continued)*

Appendix D - Australian Standards

D1 Standards applicable at installation

A reference to an Australian Standard under the heading '**Installation standards/codes/conditions of approval**' in Section 3 SCHEDULE OPTIONS of this specification, is a reference to the relevant edition and amendments listed in either Specification A1.3 of Volume 1, or Part 1.4 of Volume 2, of the *Building Code of Australia*, 1996 edition (as amended from time to time), current at the date of valid application for Building Rules Consent.

D2 Schedule of referenced Australian Standards

A reference to an Australian Standard under the heading '**Nature of inspection and/or test frequency**' in Section 3 - SCHEDULE OPTIONS of this specification, is a reference to the edition, including any amendments, current at the time of valid application for Building Rules Consent:

The following standards are referenced under the heading '**Nature of inspection and/or test frequency**' in Section 3 - SCHEDULE OPTIONS of this specification.



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3. SCHEDULE OPTIONS *(continued)*

Appendix D - Australian Standards (continued)

Number	Title
AS 1668.2	The use of mechanical ventilation and air-conditioning in buildings - Mechanical ventilation for acceptable indoor air quality (for monitoring air quality in car-parks)
AS 1851.1	Maintenance of fire protection equipment - Portable fire extinguishers and fire blankets
AS 1851.2	Maintenance of fire protection equipment - Fire hose reels
AS 1851.3	Maintenance of fire protection equipment - Automatic sprinkler systems
AS 1851.4	Maintenance of fire protection equipment - Fire hydrant installations
AS 1851.5	Maintenance of fire protection equipment - Automatic smoke/heat venting systems
AS 1851.6	Maintenance of fire protection equipment -Management procedures for maintaining the fire and smoke control features of air-handling systems - Typical maintenance schedule
AS 1851.7	Maintenance of fire protection equipment - Fire-resistant doorsets
AS 1851.8	Maintenance of fire protection equipment - Automatic fire detection and alarm systems
AS 1851.10	Maintenance of fire protection equipment - Emergency warning and intercommunication systems
AS 1851.12	Maintenance of fire protection equipment - Gaseous fire extinguishing systems
AS 1851.14	Maintenance of fire protection equipment - Pumpset systems
AS 1851.16	Maintenance of fire protection equipment -Pyrogen fire extinguishing aerosol systems
AS/NZS 2293.2	Emergency evacuation lighting for buildings - Inspection and maintenance
AS/NZS 3666.2	Air handling and water systems of buildings - Microbial control - Operation and maintenance



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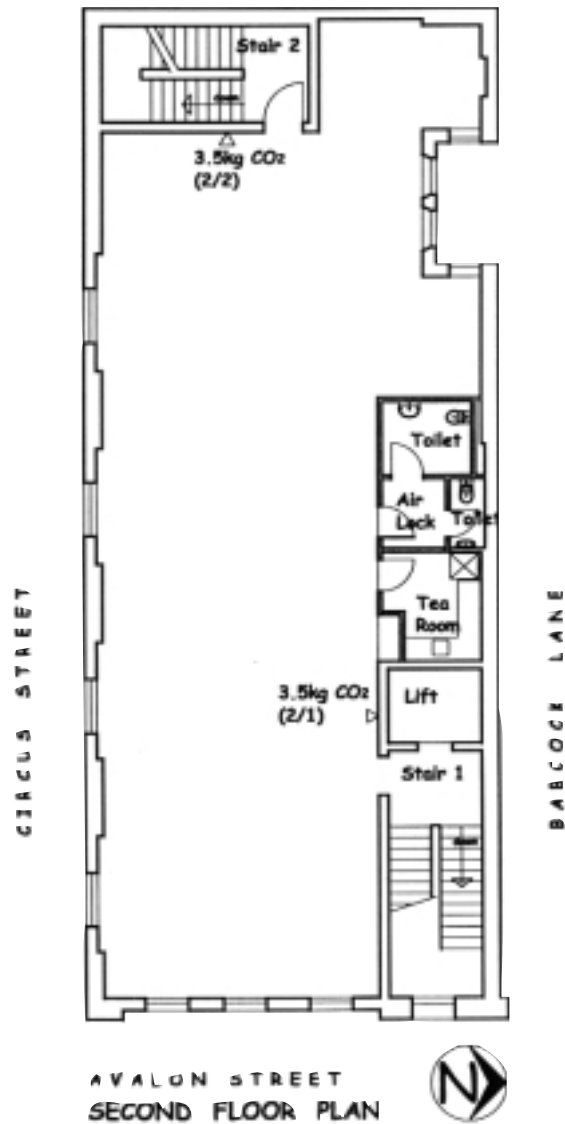
3. SCHEDULE OPTIONS (continued)

Appendix E - Sample documentation

E1 Sample Layout Plan - portable fire extinguishers

Identification codes:

- 3.5 kg CO₂ (2/1) denotes 3.5 kg CO₂ portable fire extinguisher, level 2, number 1.





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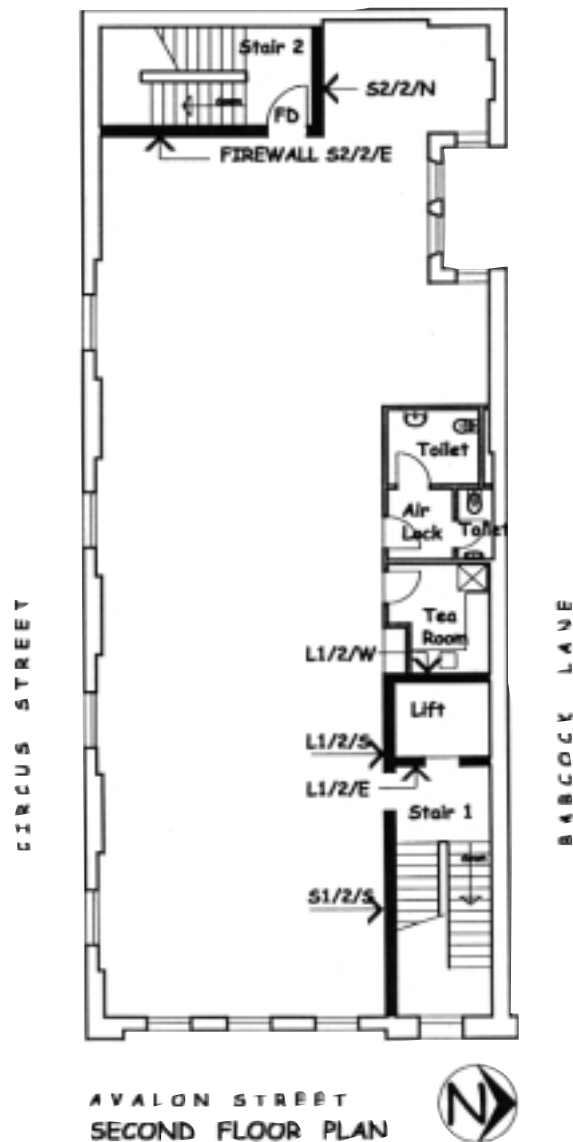
3. SCHEDULE OPTIONS (continued)

Appendix E - Sample documentation

E2 Sample Layout Plan - Fire walls

Identification codes:

- L1/2/W denotes lift 1, level 2, west wall
- S1/2/S denotes stair 1, level 2, south wall.



AVALON STREET
SECOND FLOOR PLAN





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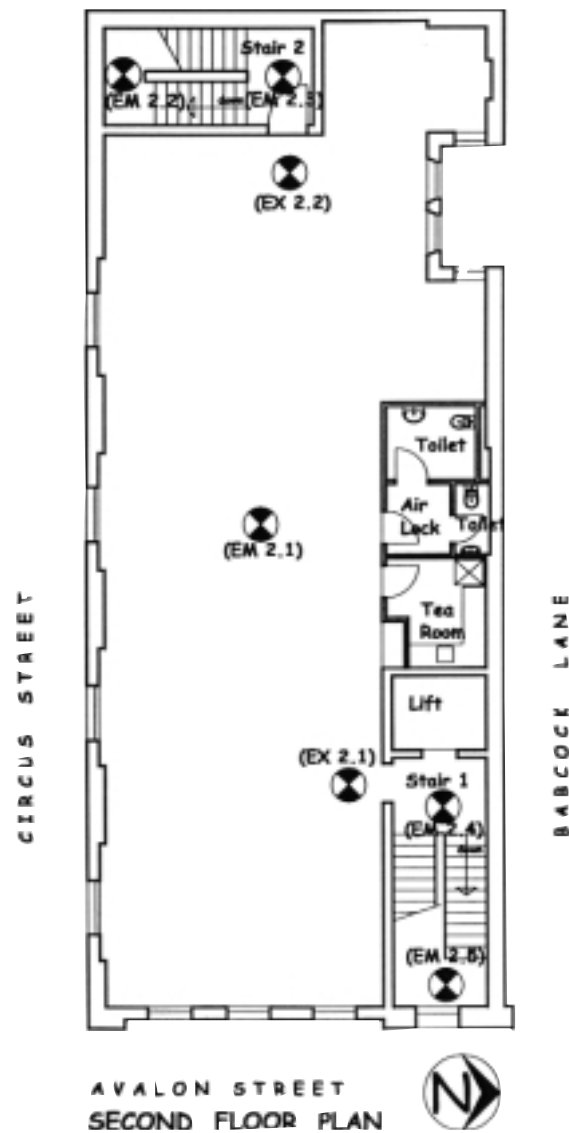
3. SCHEDULE OPTIONS (continued)

Appendix E - Sample documentation

E3 Sample Layout Plan - Emergency lighting and exit signs

Identification codes:

- EM 2.1 denotes emergency light, level 2, number 1.
- EX 2.1 denotes exit light, level 2, number 1.





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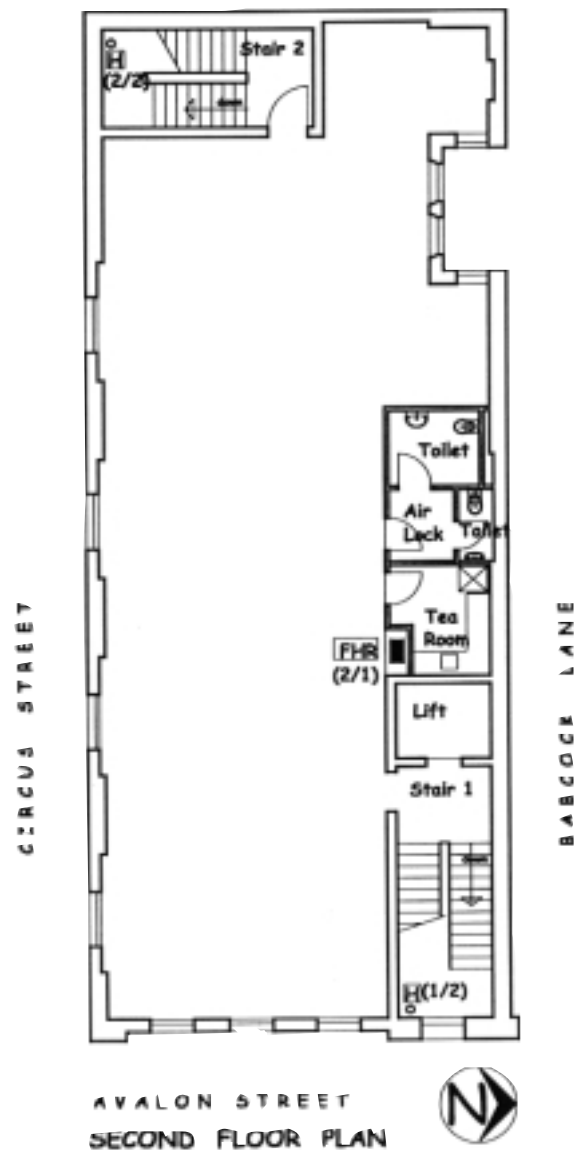
3. SCHEDULE OPTIONS *(continued)*

Appendix E - Sample documentation

E 4 Sample Layout Plan - Hydrants and hose reels

Identification codes:

- H 2/1 denotes fire hydrant, level 2, number 1
- FHR 2/1 denotes fire hose reel, level 2, number 1





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3. SCHEDULE OPTIONS (continued)

Appendix E - Sample documentation

E 5 Sample Maintenance Log Sheet

Sheet No 1

MAINTENANCE LOG SHEET - Portable fire extinguishers

Date	Procedure carried out (state whether weekly, monthly etc)	Defective items	I.D. Code	Date Rectified	Name of person and organisation carrying out maintenance procedures		Signature of building owner or his/her representative
					Name & Organisation	Signature	
10/11/98	AS 1851.1 - 1989 Six-monthly maintenance procedures				Peter Smith XYZ Fire Services	Peter Smith	David Ross
		CO ₂ - hose cut and removed	1/3	26/11/98	Peter Smith XYZ Fire Services	Peter Smith	David Ross
		Water discharged	4/4	26/11/98	Peter Smith XYZ Fire Services	Peter Smith	David Ross
10/5/99	AS 1851.1 - 1989 Yearly maintenance procedures	Nil			Tom Jones XYZ Fire Services	Tom Jones	David Ross